



**TOWN OF SHADY SHORES
ZONING BOARD OF ADJUSTMENTS
REGULAR SESSION
DECEMBER 14, 2020; 6:30 PM
VIRTUAL AND PHYSICAL
SHADY SHORES COMMUNITY CENTER
101 S. SHADY SHORES ROAD
SHADY SHORES, TX 76208**

In response to the coronavirus pandemic, effective March 16, 2020, Texas Governor Abbott suspended certain Open Meeting rules to allow meetings of government bodies that are accessible to the public to decrease large groups of people from assembling. The suspension temporarily removes the requirement that government officials and members of the public be physically present at a meeting location.

THE COMMUNITY CENTER WILL BE OPEN FOR PERSONS WISHING TO ADDRESS THE COMMISSION. PERSONS ENTERING THE BUILDING WILL BE REQUIRED TO WEAR A MASK AND HAVE THEIR TEMPERATURE TAKEN AT THE DOOR. COMMISSION MEMBERS MAY BE PHYSICALLY PRESENT OR PARTICIPATING VIA A ZOOM CALL

TO VIEW THE MEETING LIVE: <https://shadyshorestx.civicclerk.com/>

AGENDA

1. MEETING LOG IN INSTRUCTIONS
 1. Register in advance for this webinar:
https://us02web.zoom.us/webinar/register/WN_28-8LQ-YQuSIU-Xwcf4odg
After registering, you will receive a confirmation email containing information about joining the webinar.
2. CALL TO ORDER
3. ROLL CALL
 - Establish a quorum
4. MINUTES:
 1. Consider and act on approval of October 12, 2020 Zoning Board of Adjustments Meeting.
5. PUBLIC HEARINGS
 1. PUBLIC HEARING –Conduct a public hearing relative to a request made by Kerry Schrader for a variance to the height of a Type 2 Accessory Structure. The property owner is requesting a variance for the property legally known as 740 Paradise Cove.

- A. Open Public Hearing
 - 1. Staff Report
- B. Applicant
- C. Those in Favor
- D. Those Opposed
- E. Rebuttal
- F. Close Public Hearing

6. REGULAR AGENDA

- 1. Schrader Request- Consider and take action relative to a request for a variance to the height of an accessory building made by Kerry Schrader for the address known as 740 Paradise Cove.

7. ADJOURN

I, _____, _____ of the Town of Shady Shores do hereby certify that the above notice of the Zoning Board of Adjustments was posted on the bulletin board at the Community Center, 101 S. Shady Shores Road, Shady Shores, Texas on _____ Day of _____, _____, at _____ .M.

Wendy Withers, Town Secretary



**SHADY SHORES ZONING BOARD OF ADJUSTMENTS
OCTOBER 12, 2020; 6:00 PM
SHADY SHORES COMMUNITY CENTER
101 S. SHADY SHORES ROAD
SHADY SHORES, TX 76208**

MINUTES

Cindy Aughinbaugh	Mayor	Present
Tom Newell	Mayor Pro Tem	Present
Charles Grimes	Councilmember	Present
Matthew Haines	Councilmember	Present
Jack Nelson	Councilmember	Present
Mike Nowels	Councilmember	Present

STAFF PRESENT: Wendy Withers, Town Administrator; Jim Shepherd, Town Attorney; Amber Schuler, Municipal Court Administrator

1. CALL TO ORDER

Mayor Aughinbaugh called the meeting to order at 6:00 pm.

2. ROLL CALL

Establish a quorum

Mayor Aughinbaugh called the roll and a quorum was established for the record.

3. MINUTES:

1. Consider and act on approval of the Minutes of the September 14, 2020 Zoning Board of Adjustments Meeting.

Tom Newell made a motion to approve the minutes of the September 14, 2020 Zoning Board of Adjustments Meeting. Jack Nelson seconded the motion.

Discussion: None

Ayes: Newell, Nelson, Grimes, Aughinbaugh, Haines

Nays: None

The motion passed unanimously.

4. PUBLIC HEARINGS

1. Conduct a public hearing relative to a request made by Juan Quezada relative to a request for a variance to the sideyard setbacks.
 - A) Open Public Hearing
 - B) Applicant
 - C) Those In Favor of the Request
 - D) Those Opposed to the Request
 - E) Rebuttal if desired
 - F) Close Public Hearing

- A) Mayor Aughinbaugh opened the public hearing at 6:07 pm
- B) The applicant, Mr. Quezada stated that he didn't realize he was too far over the line and didn't realize that this was a problem.
- C) Mr. and Mrs Brogniez, 209 Lakeshore Road spoke in favor of the request
Gary and Peggy Goldsmith 213 Lakeshore submitted a letter in favor of the request.
Johnny and Carrie Crabtree 212 and 214 Lakeshore submitted a letter in favor of the request
- D) No one spoke in opposition to the request
- E) Mayor Aughinbaugh closed the public hearing at 6:16 pm

5. REGULAR AGENDA

- 1. Consider and act on a request made by Juan Quezada for a variance to the side-yard setback requirements.

Tom Newell made a motion to approve the variance. Jack Nelson seconded the motion.

Discussion: Councilmembers expressed concern that individuals were continuing to build structures without obtaining the proper permits.

Ayes: Aughinbaugh, Grimes, Nelson, Newell

Nays: Haines

The motion passed 4-1.

6. ADJOURN

The meeting was adjourned at 6:29 pm

PASSED AND APPROVED THIS _____ DAY OF _____, 2020.

APPROVED:

Cindy Aughinbaugh, Mayor

ATTEST:

Wendy Withers, Town Administrator/Secretary



AGENDA MEMORANDUM

DATE: December 14, 2020
TO: Zoning Board of Adjustment
FROM: Wendy Withers, Town Administrator
SUBJECT: Schrader Request- Consider and take action relative to a request for a variance to the height of an accessory building made by Kerry Schrader for the address known as 740 Paradise Cove.

BACKGROUND/INFORMATION:

FINANCIAL IMPLICATIONS:

RECOMMENDATION/ACTION DESIRED:

Mr. Shrader is requesting a variance to the zoning ordinance regarding the maximum height for a Type 2 Accessory Structure. The current ordinance states all Type 2 accessory structures may have a maximum structure size of no higher than 16'.

Cielo Ranch HOA requirements state that the accessory structure must match the roofline of the house. The proposed building is approximately 22' at the highest pitch. The project has been approved by the Cielo Ranch HOA and a letter signed by adjacent property owners is attached.

ATTACHMENTS/SUPPORTING DOCUMENTATION:

1. application for variance 740 Paradise Cove
2. Property owner approvals 11.21.2020
3. Zoning Ordinance

REVIEWED BY:

ZONING VARIANCE APPLICATION

TO THE HONORABLE ZONING BOARD OF ADJUSTMENTS OF THE
TOWN OF SHADY SHORES, TEXAS:

I/WE, the undersigned owner(s) (Print) KERRY SCHRADER
of all property within described do hereby file this, my/our Application for a Zoning Variance under
the provisions of the Zoning Ordinance of the Town of Shady Shores, Texas on said property, so
there may be permitted on said property the following Zoning Variance:

BUILDING OF AN UNATTACHED GARAGE HIGHER THAN
16'

The said property is located at: (Address) 740 PARADISE COVE
G.W.L. SHAHAN

Legal description: Survey CIELD RANCH Abstract #1232
AND W. LOT 1A #249
Lot 63 Block A Total Acreage 0.8231

Said property is currently zoned: RESIDENTIAL

Proposed development plans are are not submitted herewith, explanation if any.

I AM TRYING TO BUILD A GARAGE (DETACHED) FOR MY BOAT. GARAGE
DOOR WILL BE 12' HIGH TO ACCOMMODATE MY BOAT. HEIGHT OF
GARAGE IS DICTATED BY HOA WHICH REQUIRES ROOF PITCH TO
BE LIKE THE HOUSE. THERE ARE 4 SIMILAR GARAGES IN
NEIGHBORHOOD, TWO OF WHICH ARE TALLER THAN ONE I WANT TO BUILD

Explanation of hardship:

HOA DICTATES PITCH OF ROOF. MY GARAGE WOULD BE
IDENTICAL IN SIZE AND APPEARANCE TO ONE TWO
DOORS DOWN. (SEE ATTACHED PIC)

I/We REPRESENT AND CERTIFY that I/We own said property and have full authority to make
and file this application. I/We have read in full the attached Zoning Variance Request Packet and
acknowledge that the variance application fee is non-refundable.

Kerry Schrader
SIGNATURE(S)

12 NOV 2020
DATE

SCHRADERVALVE@YAHOO.COM
E-MAIL ADDRESS

940 300-4980
PHONE NUMBER

OFFICE USE ONLY BELOW

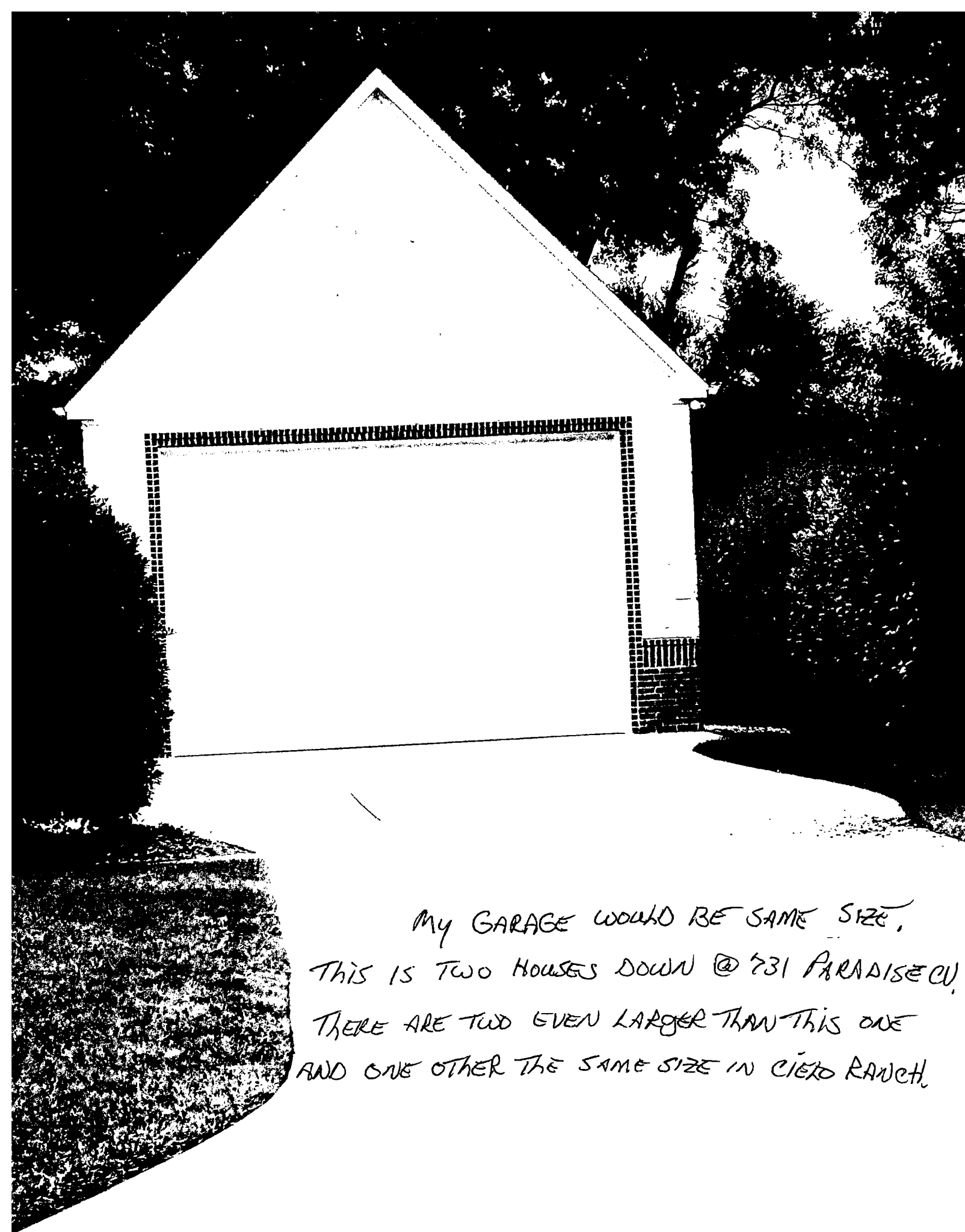
- ☐ Letters sent to property owners within
200-foot of subject property 10-days
prior to meeting but no more than 20-
days prior
- ☐ Legal notice published in official
newspaper 10-days prior to meeting but
no more than 20-days prior

Date Received: 11/12/2020

Receipt #: 60

Check #: 2298

Received by Wendy Walker



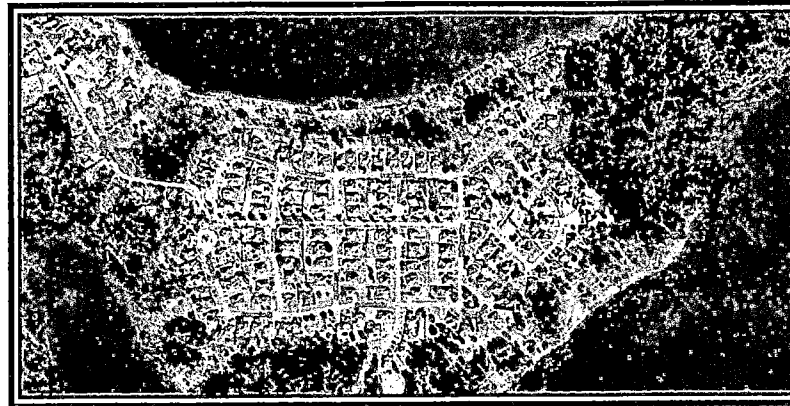
MY GARAGE WOULD BE SAME SIZE,
THIS IS TWO HOUSES DOWN @ 731 PARADISE CV.
THERE ARE TWO EVEN LARGER THAN THIS ONE
AND ONE OTHER THE SAME SIZE IN CIELO RANCH.



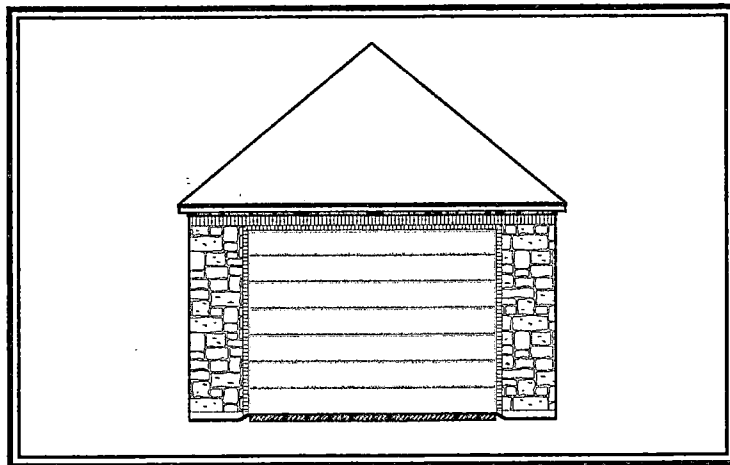
ADDITION GARAGE

ONE STORY SINGLE FAMILY RESIDENCE

740 PARADISE COVE SHADY SHORES TX 76208



1
G0.00 VICINITY PLAN
SCALE: N.T.S.



Owner (Current 2020)

SCHRADER, KERRY D & MING F- 740 PARADISE COVE SHADY SHORES TX 76208

SHEET INDEX	
G0.00	COVER SHEET
G0.01	GENERAL NOTES FOR CONTRACTOR
C1.00	SITE PLAN
S1.00	FOUNDATION PLAN
S1.01	FOUNDATION DETAILS
S1.02	CEILING FRAMING PLAN
S1.03	ROOF FRAMING PLAN
S1.04	FRAMING DETAILS
S1.05	FRAMING DETAILS
S1.06	WALL BRACING PLAN
S1.07	WALL BRACING NOTES
S1.08	WALL BRACING DETAILS
S1.09	WALL BRACING DETAILS
S1.10	WALL BRACING DETAILS
S1.11	WALL BRACING DETAILS
S1.12	WALL BRACING DETAILS
A1.00	FLOOR PLAN
A1.01	ROOF PLAN
A2.00	ELEVATIONS
E1.00	SCHEMATIC ELECTRICAL PLAN

JD RIVERO DALLAS LLC We enrich your life Blueprint-Permit-Constructions																																													
9304 FOREST LN. SUITE 274, DALLAS, TX 75243 TEL: +1(214) 462 0682 www.jdrivero.com																																													
OWNER:	OWNER ADDRESS:																																												
SCHRADER, KERRY D & MING F	740 PARADISE COVE SHADY SHORES TX 76208																																												
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PROJECT: ADDITION GARAGE																																													
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THESE PLANS ARE SUBMITTED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBMITTALLY FILED THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, ARCHITECT, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDERS SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, MEAS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND INSTRUCTIONS TAKE PRECEDENCE OVER ANY OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE NATURE OF ARCHITECTURAL DRAWING, DRIVERO INC. WILL NOT ASSUME LIABILITY FOR ANY CHANGES DUE TO CROOKS, OMISSIONS, OR MISCONCEPTIONS ON THESE PLANS. OWNERS/BUILDERS MUST COMPLY WITH LOCAL, STATE, AND FEDERAL CODES TO CORRECT COPY OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS BUILDING ONLY ONCE. ANY OTHER, THAM, OR ATTEMPT OF THIS PLAN IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.																																													

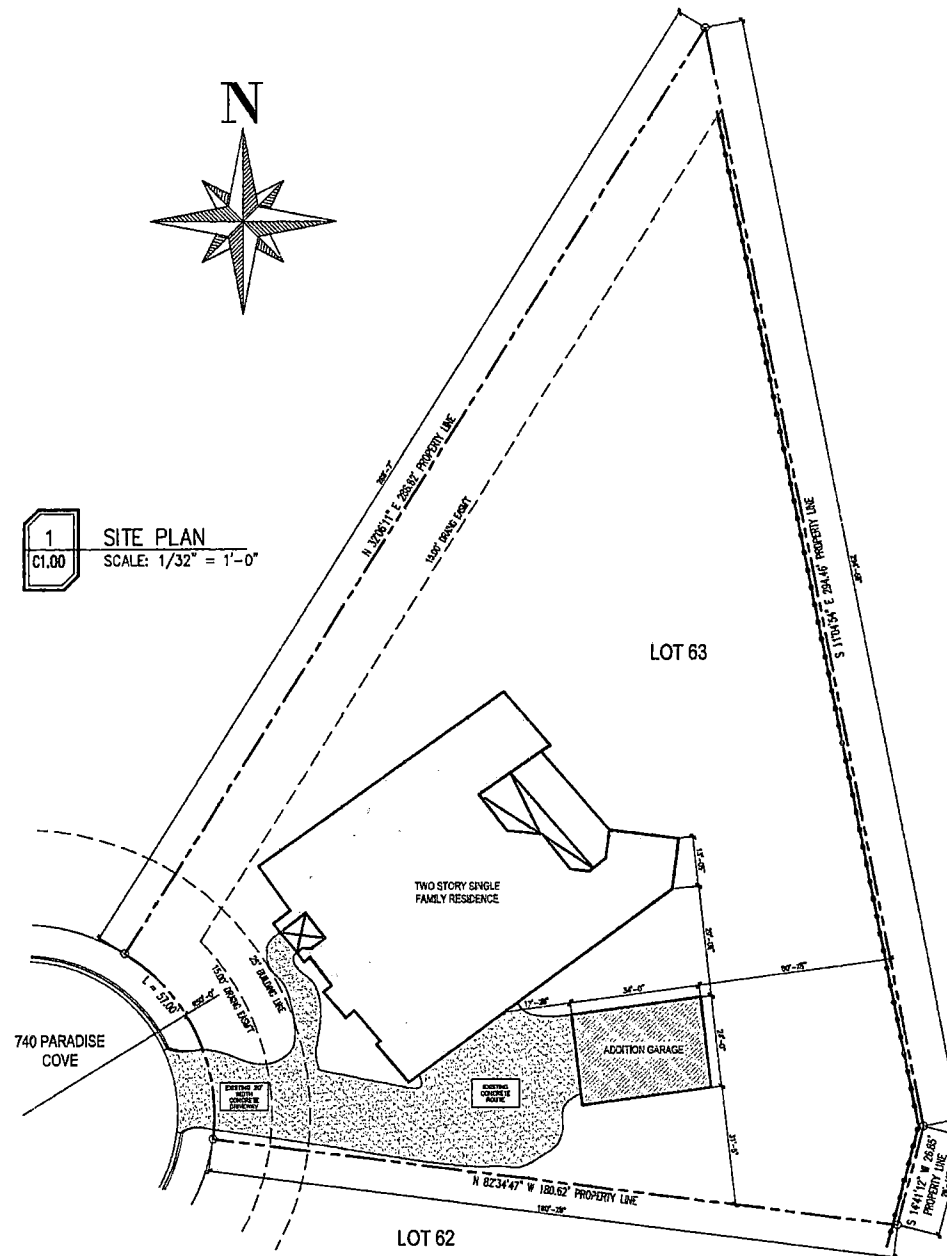
SQUARE FOOTAGE			
ADDITION GARAGE AREA	APPROX.	816	S.F.
EXISTING HOUSE AREA	APPROX.	4095	S.F.
ADDITION FOUNDATION AREA	APPROX.	816	S.F.
TOTAL COVERED AREA	APPROX.	816	S.F.
TOTAL AREA	APPROX.	4911	S.F.
LOT SIZE	APPROX.	35853	S.F.
% OF COVERED AREA	APPROX.	14	%

1
C1.00

SITE PLAN
SCALE: 1/32" = 1'-0"

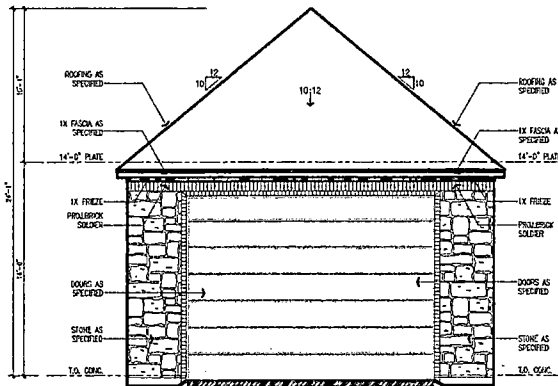
LEGAL DESC (CURRENT 2020)

CIELO RANCH BLK A LOT 63
Block A
Lot 63
Land Area 35.853sqft
Living Area 4095 sqft
Entities C34,G01,S08,W02
State Code A1

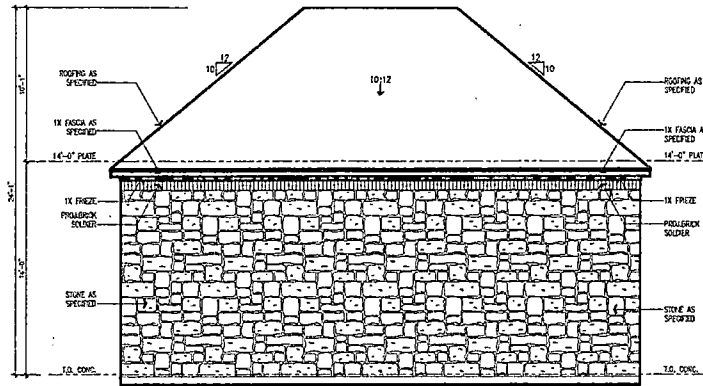


		JD RIVERO DALLAS LLC We enrich your life Blueprint-Permit-Construction	
		9304 FOREST LANE, SUITE 1074, DALLAS, TX 75243 TEL: (214) 462-0683 www.jdrivero.com	
OWNER:		OWNER ADDRESS:	
SCHRAEDER, KERRY D & MING F		740 PARADISE COVE SHADY SHORES TX 76208	
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NAME SHEET: SITE PLAN PROJECT NUMBER: PERMIT:			
PROPERTY ADDRESS: 740 PARADISE COVE SHADY SHORES TX 76208			
PROJECT: ADDITION GARAGE			
DATE: 10/15/2020			
SCALE: 1/32" = 1'-0"			
SHEET: C1.00			
THIS PLAN IS INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBMIT TO THE LOCAL BUILDING DEPARTMENT. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT SHOWN ON THIS PLAN. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT SHOWN ON THIS PLAN. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON.			

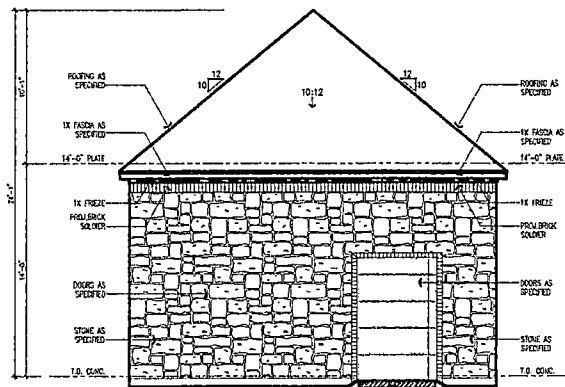
RO	10/25/2020	USADAL2000000126
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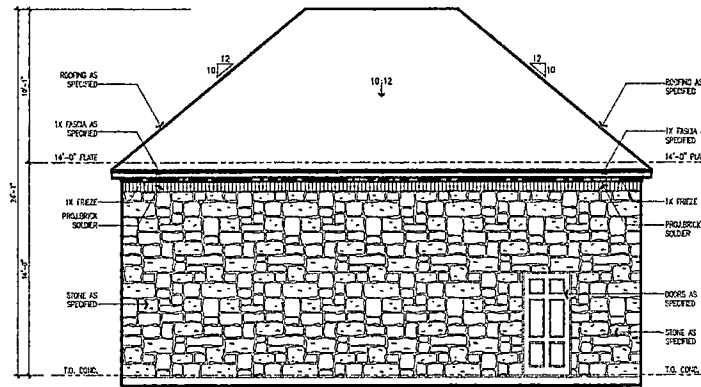
1
A2.00
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2
A2.00
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



3
A2.00
REAR ELEVATION
SCALE: 1/8" = 1'-0"



4
A2.00
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

 JD RIVERO DALLAS LLC We finish your life Blueprint-Permit-Constructions		8004 FOREST LN. SUITE 2024, DALLAS, TX 75243 TEL: (214) 462-0853 www.jdrivero.com	
		OWNER: SCHRAEDER, KERRY D & MING F OWNER ADDRESS: 740 PARADISE COVE SHADY SHORES TX 76208	
NO. DATE REVISION APPROVED		PROJECT NUMBER:	
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PROJECT: ADDITION GARAGE			
DATE: 10/16/2020			
SCALE: 1/8" = 1'-0"			
SHEET: A2.00			
			
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE BUILDING, HOUSING, AND ALL CONTRACTORS OF THE JOB PRIOR TO CONSTRUCTION. BUILDERS SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, MECHANICAL, AND ELECTRICAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB.			

ELECTRICAL LEGEND			
	ELECTRICAL PANEL		RECESSED CAN LIGHT
	ELECTRICAL METER		WALL MOUNTED LIGHT
	SWITCH		FLUORESCENT LIGHT w/ 2 BULBS
	3-WAY SWITCH		GFI OUTLET
	DUPLEX OUTLET		SWITCHED DUPLEX OUTLET
	CEILING MOUNTED OUTLET		220V OUTLET
	CEILING MOUNTED LIGHT		

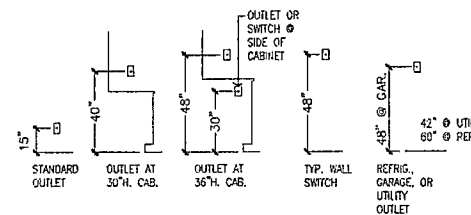
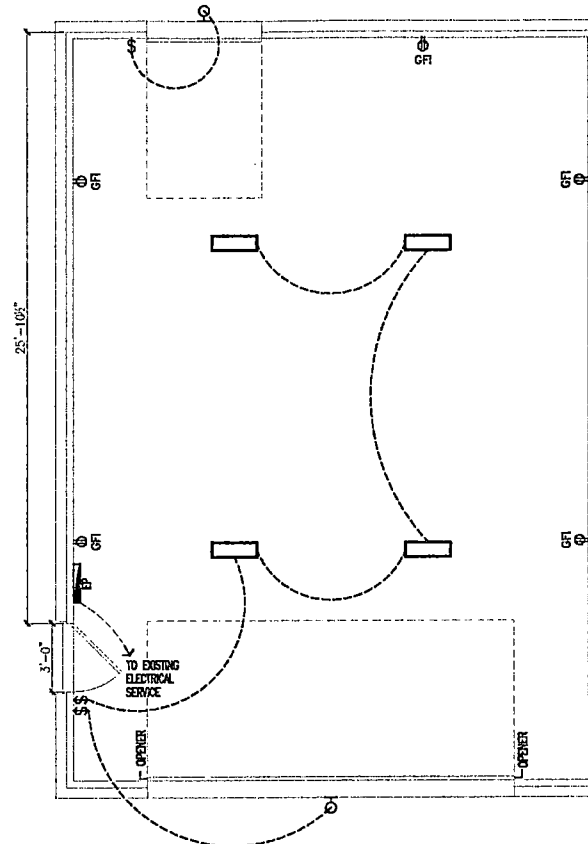
GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

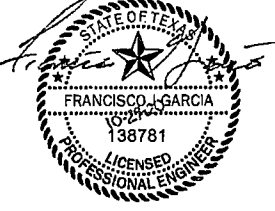
NOTE: VERIFY W/ OWNER - ALL ELECTRICAL AND LIGHTING LOCATIONS AND SPECS...INCLUDING SECURITY, AUDIO/VISUAL, OUTDOOR ELECTRICAL, PANEL LOCATIONS, ETC.

1
E1.00 **SCHEMATIC ELECTRICAL PLAN**
SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND	
	ELECTRICAL WIRE
	ELECTRICAL NOTES
	ELECTRICAL SYMBOLS



ELECTRIC FIXTURE HEIGHTS
(UNLESS NOTED OTHERWISE)

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END CONDITION 1

END CONDITION 2

END CONDITION 3

END CONDITION 4

END CONDITION 5

REQUIREMENTS

Return panel: 24" for braced wall lines sheathed with wood structural panels
32" for braced wall lines sheathed with structural fiberboard

Distance D: 24" for braced wall lines sheathed with wood structural panels
32" for braced wall lines sheathed with structural fiberboard

Hold-down device: 800 lbs capacity fastened to the edge of the braced wall panel closest to the corner and to the foundation or floor framing below

FIGURE R602.10.7
END CONDITIONS FOR BRACED WALL LINES WITH CONTINUOUS SHEATHING

RO	10/25/2020	USADAL2000000126
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TABLE R602.10.5
MINIMUM LENGTH OF BRACED WALL PANELS

METHOD (See Table R602.10.4)		MINIMUM LENGTH ^a (inches)					CONTRIBUTING LENGTH (inches)
		WALL HEIGHT					
		B feet	9 feet	10 feet	11 feet	12 feet	
DWB, WSP, SFB, PBS, PCP, HPS, BV-WSP		48	48	48	53	58	Actual ^b
GB		48	48	48	53	58	Double sided = Actual Single sided = 0.5 x Actual
LIB		55	62	69	NP	NP	Actual ^b
ABW	SDC A, B and C, ultimate design wind speed < 140 mph	28	32	34	38	42	48
	SDC D0, D1 and D2, ultimate design wind speed < 140 mph	32	32	34	NP	NP	
PFH	Supporting roof only	16	16	16	18c	20c	48
	Supporting one story and roof	24	24	24	27c	29c	48
PFG		24	27	30	33d	36d	1.5 x Actual ^b
CS-G		24	27	30	33	36	Actual ^b
CS-PF	SDC A, B, and C	16	18	20	22e	24e	1.5 x Actual ^b
	SDC D0, D1, and D2	16	18	20	22e	24e	Actual ^b
CS-WSP, CS-SFB	Adjacent clear opening height (inches)						Actual ^b
	≤ 64	24	27	30	33	36	
	68	26	27	30	33	36	
	72	27	27	30	33	36	
	76	30	29	30	33	36	
	80	32	30	30	33	36	
	84	35	32	32	33	36	
	88	38	35	33	33	36	
	92	43	37	35	35	36	
	96	48	41	38	36	36	
	100	—	44	40	38	38	
	104	—	49	43	40	39	
	108	—	54	46	43	41	
	112	—	—	50	45	43	
	116	—	—	55	48	45	
	120	—	—	60	52	48	
	124	—	—	—	56	51	
	128	—	—	—	61	54	
	132	—	—	—	66	58	
	136	—	—	—	—	62	
	140	—	—	—	—	66	
	144	—	—	—	—	72	

For Sls: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.477 m/s.

NP = Not Permitted.

a. Linear interpolation shall be permitted.

b. Use the actual length when it is greater than or equal to the minimum length.

c. Maximum header height for PFH is 10 feet in accordance with Figure R602.10.6.2, but wall height shall be permitted to be increased to 12 feet with pony wall.

d. Maximum opening height for PFG is 10 feet in accordance with Figure R602.10.6.3, but wall height shall be permitted to be increased to 12 feet with pony wall.

e. Maximum opening height for CS-PF is 10 feet in accordance with Figure R602.10.6.4, but wall height shall be permitted to be increased to 12 feet with pony wall.

R602.10.4.1 Mixing methods. Mixing of bracing methods shall be permitted as follows:

1. Mixing intermittent bracing and continuous sheathing methods from story to story shall be permitted.

2. Mixing intermittent bracing methods from braced wall line to braced wall line within a story shall be permitted. In regions within Seismic Design Categories A, B and C where the ultimate design wind speed is less than or equal to 130 mph (58m/s), mixing of intermittent bracing and continuous sheathing methods from braced wall line to braced wall line within a story shall be permitted.

3. Mixing intermittent bracing methods along a braced wall line shall be permitted in Seismic Design Categories A and B, and detached dwellings in Seismic Design Category C, provided the length of required bracing in accordance with Table R602.10.3.(1) or R602.10.3.(3) is the highest value of all intermittent bracing methods used.

4. Mixing of continuous sheathing methods CS-WSP, CS-G and CS-PF along a braced wall line shall be permitted. Intermittent methods ABW, PFH and PFG shall be permitted to be used along a braced wall line with continuous sheathed methods.

5. In Seismic Design Categories A and B, and for detached one- and two-family dwellings in Seismic Design Category C, mixing of intermittent bracing methods along the interior portion of a braced wall line with continuous sheathing methods CS-WSP, CS-G and CS-PF along the exterior portion of the same braced wall line shall be permitted. The length of required bracing shall be the highest value of all intermittent bracing methods used in accordance with Table R602.10.3.(1) or R602.10.3.(3) as adjusted by Tables R602.10.3.(2) and R602.10.3.(4), respectively. The requirements of Section R602.10.7 shall apply to each end of the continuously sheathed portion of the braced wall line.

R602.10.4.2 Continuous sheathing methods. Continuous sheathing methods require structural panel sheathing to be used on all sheathable surfaces on one side of a braced wall line including areas above and below openings and gable end walls and shall meet the requirements of Section R602.10.7.

R602.10.4.3 Braced wall panel interior finish material. Braced wall panels shall have gypsum board installed on the side of the wall opposite the bracing material. Gypsum wall board shall be not less than 1/2 inch (12.7 mm) in thickness and be fastened with nails or screws in accordance with Table R602.3.(1) for exterior sheathing or Table R702.3.5 for interior gypsum wall board. Spacing of fasteners at panels edges for gypsum wall board opposite Method UB bracing shall not exceed 8 inches (203 mm). Interior finish material shall not be glued in Seismic Design Categories D0, D1 and D2.

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30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1		NO. DATE REVISION APPROVED REVISIONS NAME SHEET: WALL BRACING DETAILS PROJECT NUMBER: PERMIT:	
PROPERTY ADDRESS: 740 PARADISE COVE SHADY SHORES TX 76208			
PROJECT: ADDITION GARAGE			
DATE: 10/16/2020			
SCALE: NTS			
SHEET: S1.10			
			
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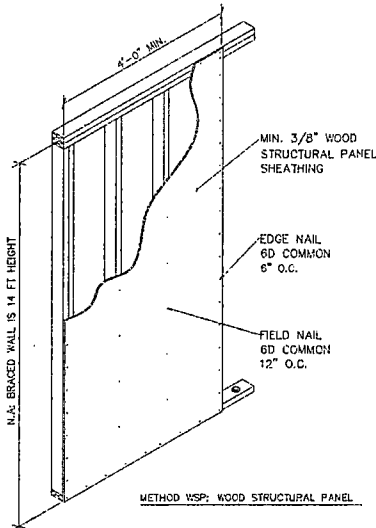


TABLE R602.3(3)
REQUIREMENTS FOR WOOD STRUCTURAL PANEL
WALL SHEATHING USED TO RESIST WIND PRESSURES a, b, c

MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (Inches)	MAXIMUM WALL STUD SPACING (Inches)	PANEL NAIL SPACING		ULTIMATE DESIGN WIND SPEED V _W (mph)		
Size	Penetration (Inches)				Edges (Inches o.c.)	Field (Inches o.c.)	Wind exposure category		
6d Common (2.0\" x 0.113\")	1.5	24/0	3/8	16	6	12	B	C	D
8d Common (2.5\" x 0.131\")	1.75	24/16	7/16	16	6	12	140	115	110
				24	6	12	170	140	135
					6	12	140	115	110

For St: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s

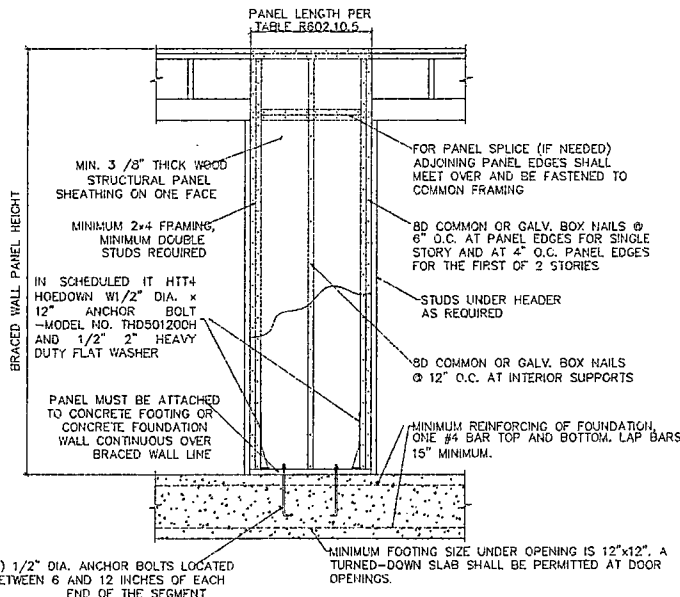
A. PANEL STRENGTH AXIS PARALLEL OR PERPENDICULAR TO SUPPORTS. THREE-PLY PLYWOOD SHEATHING WITH STUDS SPACED MORE THAN 16 INCHES ON CENTER SHALL BE APPLIED WITH SECTION R602.10.

PANEL STRENGTH AXIS PERPENDICULAR TO SUPPORTS.

B. TABLE IS BASED ON WIND PRESSURES ACTING TOWARD AND AWAY FROM BUILDING SURFACES PER SECTION R301.2. LATERAL BRACING REQUIREMENTS SHALL BE IN ACCORDANCE WITH

C. WOOD STRUCTURAL PANELS WITH SPAN RATINGS OF WALL-16 OR WALL-24 SHALL BE PERMITTED AS AN ALTERNATE TO PANELS WITH A 24/0 SPAN RATING. PLYWOOD SIDING RATED

16 O.C. OR 24 O.C. SHALL BE PERMITTED AS AN ALTERNATE TO PANELS WITH A 24/16 SPAN RATING. WALL-16 AND PLYWOOD SIDING 16 O.C. SHALL BE USED WITH STUDS SPACED NOT MORE THAN 16 INCHES ON CENTER.



METHOD ABW: ALTERNATE BRACED WALL PANEL

Table R602.10.6.1
MINIMUM HOLD-DOWN FORCES FOR METHOD ABW BRACED WALL PANELS

SEISMIC DESIGN CATEGORY AND WIND SPEED SUPPORTING STORY		HOLD DOWN FORCE (pounds)				
		Height of Braced Wall Panel				
		8 feet	9 feet	10 feet	11 feet	12 feet
SDC A, B and C Ultimate design wind speed < 140 mph	One story	1,800	1,800	1,800	2,000	2,200
	First of two stories	3,000	3,000	3,000	3,300	3,600
SDC D0, D1 AND D2 Ultimate design wind speed < 140 mph	One story	1,800	1,800	1,800	NP	NP
	First of two stories	3,000	3,000	3,000	NP	NP

For St: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound = 4.45 N, 1 mile per hour = 0.447 m/s.
NP = Not Permitted.

(2) 1/2\" DIA. ANCHOR BOLTS LOCATED BETWEEN 6 AND 12 INCHES OF EACH END OF THE SEGMENT

FIGURE R602.10.6.1

METHOD ABW - ALTERNATE BRACED WALL PANEL

R1 10/28/2020 USADAL2000000126

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10			
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No	DATE	REVISION	APPROVED
NAME SHEET: WALL BRACING DETAILS			
PROPERTY ADDRESS: 740 PARADISE COVE SHADY SHORES TX 76208			
PROJECT: ADDITION GARAGE			
DATE: 10/16/2020			
SCALES: NTS			
SHEET: S1.08			
THESE PLANS ARE DESIGNED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDING, MECHANICAL, AND ELECTRICAL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDERS SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, SPECIAL AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY USES. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. BECAUSE OF THE VARIANCE IN OCCUPANCY LOCATIONS, AS WELL AS THE VARYING ASSUMPTIONS FOR ANY CHANGES DUE TO LOADING, DESIGNING OR CONSTRUCTION OF THESE PLANS, OWNERS MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PRESENCE OF THESE PLANS DOES NOT GUARANTEE THE QUALITY OF CONSTRUCTION OF THIS BUILDING. ANY COPIES, REVISIONS, ALTERATIONS, OR CHANGES TO THESE PLANS MUST BE MADE BY THE ORIGINAL DESIGNER. VIOLATIONS OF THESE PLANS IS NOT PERMITTED. VIOLATIONS WILL BE SUBJECT TO PROSECUTION UNDER APPLICABLE LAWS.			

DESIGN CRITERIA:
EXPOSURE CATEGORY B
WIND SPEED ≤ 105 (mph)
COMPLIANT WITH:
2018 IRC.

DENOTES: HOLD-DOWN LOCATION
SIMPSON STRONG TIE
MODEL #: HTT4

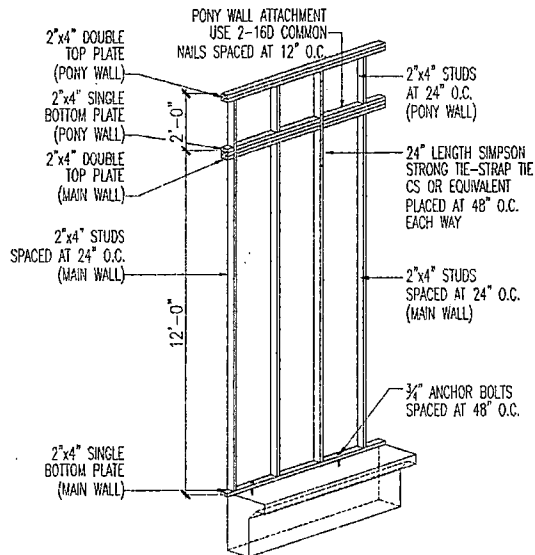


FASTENERS:

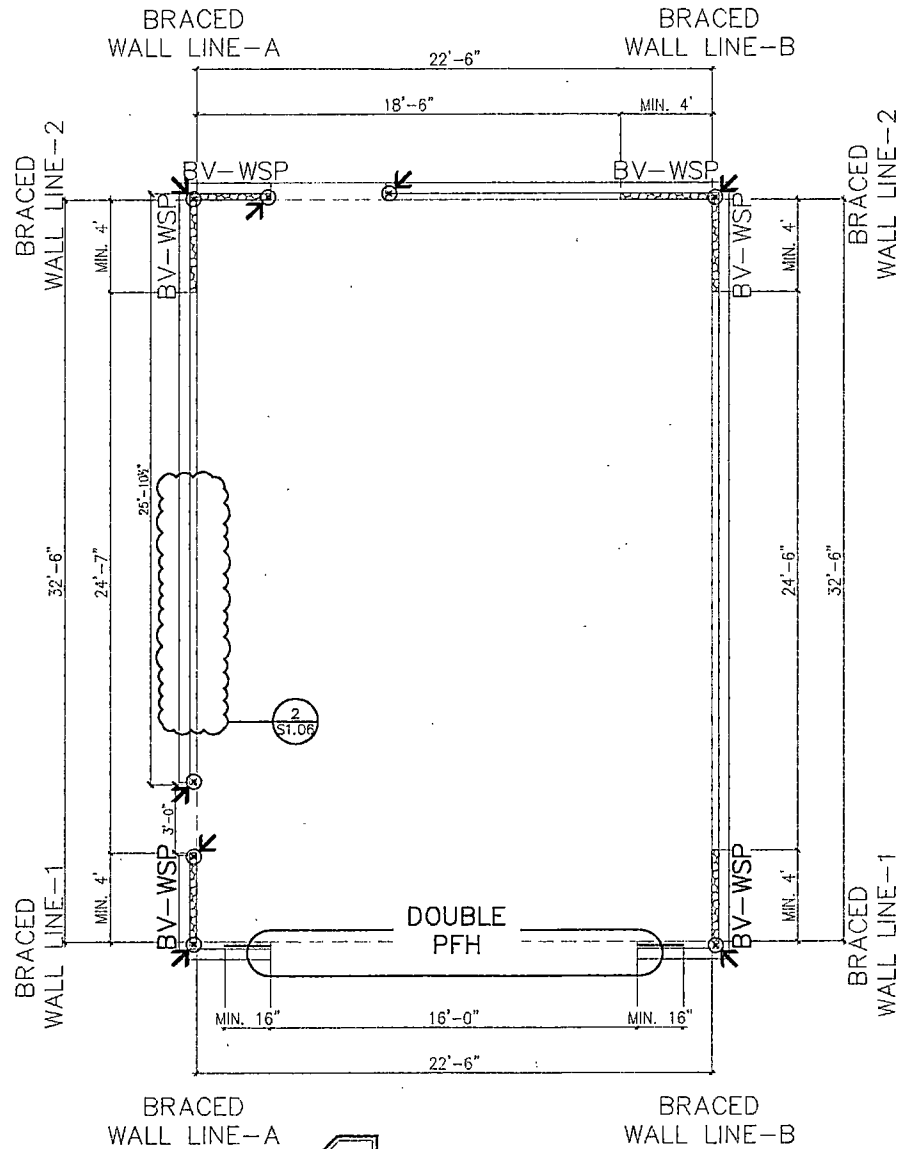
ANCHOR BOLTS: $5/8"$

FASTENERS: 18-16d

NOTE: INSTALL PER MANUFACTURERS
RECOMMENDATIONS

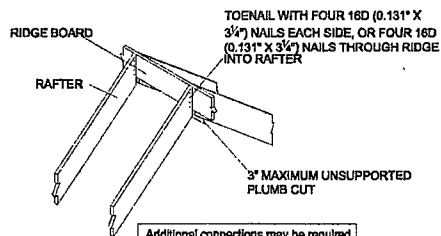


2
WALL FRAMING WITH PONY WALL
SCALE: $3/16" = 1'-0"$



1
WALL BRACING PLAN
SCALE: $3/16" = 1'-0"$

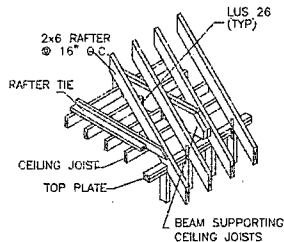
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ADDITION GARAGE			
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10/16/2020			
SCALE:			
$3/16" = 1'-0"$			
SHEET:			
S1.06			
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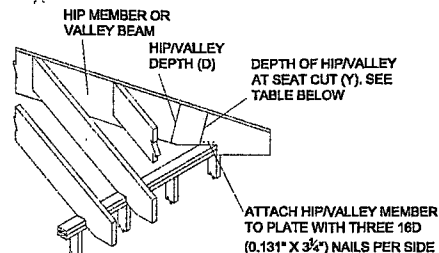
Additional connections may be required to resist wind forces in high wind zones

Rafter Size	Rafter Pitch		
	4:12 to 9:12	10:12 to 11:12	12:12
Ridge Board Sizes			
2x6	2x6	2x6	2x6
2x8	2x8	2x8	2x8
2x10	2x10	2x10	2x12
2x12	2x12	14"	14"

1
S1.04
RIDGE CONNECTION
SCALE: NTS



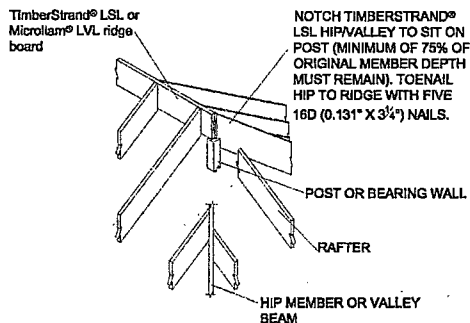
2
S1.04
BEVEL ANGLE
SCALE: NTS



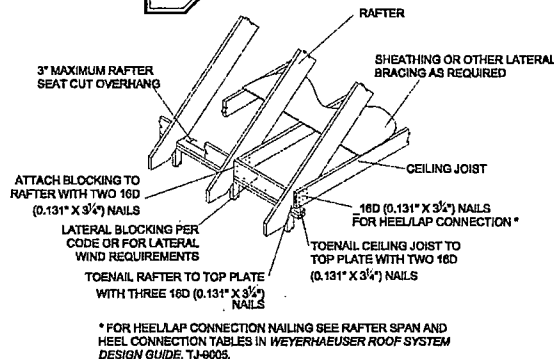
Hip/Valley Depth		
Member Type	TimberStrand® LSL	MicroIam® LVL
Hip Member	90%	90%
Valley Beam	60%	90%

Calculate percentage as y/d x 100

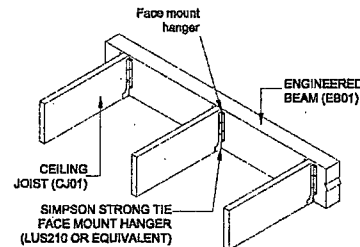
3
S1.04
HIP/VALLEY LOW END
SCALE: NTS



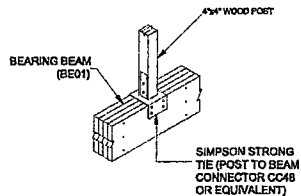
4
S1.04
RIDGE, HIP, VALLEY & POST CONNECTION DETAIL
SCALE: NTS



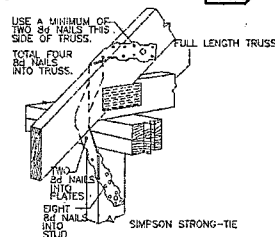
5
S1.04
HEEL CONNECTION LAP
SCALE: NTS



6
S1.04
CEILING JOIST TO BEAM CONNECTION
SCALE: NTS



7
S1.04
POST TO BEARING BEAM BELOW CONNECTION
SCALE: NTS



8
S1.04
BEAM & RAFTER TIE DETAIL
SCALE: NTS

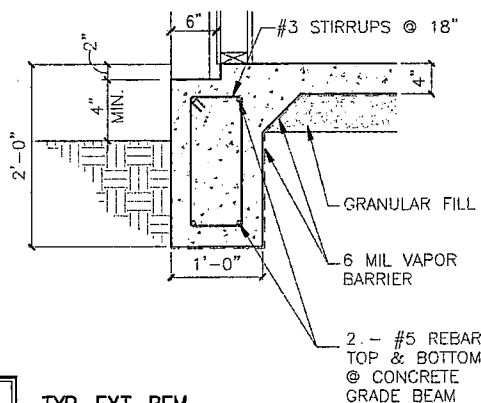


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CONCRETE NOTES

GENERAL SPECIFICATIONS-

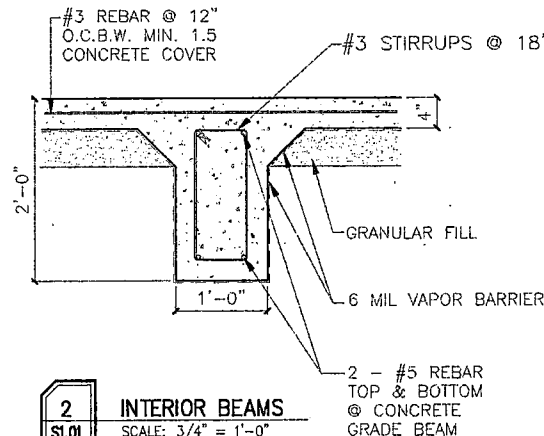
1. CONCRETE SHALL BE TYPE 1, AND HAVE 5-SACKS OF CEMENT (90 POUNDS PER SACK) WITH A TWENTY EIGHT DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
2. SEE "CONCRETE TEMPERATURE SPECIFICATION" FOR A HOT WEATHER SPECIFICATION AND THE USE OF FLY ASH.
3. CONCRETE SHALL HAVE BETWEEN 4% TO 5% AIR -ENTRAINMENT BY VOLUME.
4. REINFORCING STEEL SHALL BE 60 KSI MATERIAL.
5. REINFORCING STEEL SHALL BE CLEAN AND FREE OF RUST AND DEBRIS.
6. REINFORCING STEEL SHALL BE PLACED AS FOLLOWS:
 - A. REINFORCING STEEL LAP SPLICES SHALL BE AS FOLLOWS:
FOR 3/8" (#3'S) TO 3/4" (#5'S) DIAMETER = $(0.0005F_y \cdot DB)$ (ACI 318-14. CHAPTER 25.5.5.1)
 - LAP SPLICES IN THE ADJACENT BARS (OF GRADE BEAMS) THAT ARE LAID IN A ROW SHALL NOT OCCUR WITHIN FOUR FEET OF EACH OTHER AS MEASURED ALONG THE REINFORCING STEEL.
 - B. REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVERAGE:
 - A. 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.
 - B. 2" FOR CONCRETE NOT EXPOSED TO WEATHER.
 - C. 1 1/2" FOR CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH.
 - C. REINFORCING HOOKS' RADIUS AND LEGS IS AS FOLLOWS (STANDARD 135'):
 - FOR 3/8" (#3'S) TO 5/8" (#5'S) RADIUS= 6DB, LEG= 12DB
 - FOR 3/4" (#6'S) RADIUS= (6DB), LEG= (6DB) (ACI 318-14. TABLE 25.3.2)
 - D. DEVELOPMENT EMBEDMENT OF HOOKS IS AS FOLLOWS:
FOR 3/8" (#3'S) TO 3/4" (#6'S) = 16DB



1
TYP. EXT. BEM
SCALE: 3/4" = 1'-0"

FOUNDATION NOTES

- A. THE FLOOR SLABS SHOULD BE PLACED ON A MINIMUM OF 2 FEET OF COMPACTED AND TESTED SELECT FILL DUE TO THE HIGHLY PLASTIC NATURE OF IN SITU SOIL.
- B. IT IS RECOMMENDED THAT THE EXISTING SOIL BE STRIPPED TO A DEPTH OF 2 FEET BELOW THE BOTTOM OF ALL FOUNDATION ELEMENTS. PRIOR TO PLACING, ANY ADDITIONAL FILL MATERIAL, WE RECOMMEND THAT ALL EXPOSED SURFACES BE SCARIFIED TO A DEPTH OF ABOUT 6 TO 8 INCHES, MOISTURE CONDITIONED TO A MOISTURE CONTENT RANGING BETWEEN 2 TO 5 PERCENTAGE POINTS ABOVE THE OPTIMUM MOISTURE CONTENT AS DEFINED BY ASTM D 698 (STANDARD PROCTOR TEST.), AND COMPACTED BETWEEN 93 AND 98 PERCENT OF THEIR MAXIMUM DRY DENSITY.
- C. OVER-EXCAVATIONS SHOULD EXTEND A MINIMUM OF 2 FEET BEYOND ALL SIDES OF THE PERIMETER FOOTINGS OR BEAMS.
- D. WE RECOMMEND THAT PROOF ROLLING OF EXPOSED SUBGRADE PRIOR TO BACKFILLING AND THE COMPACTION OF STRUCTURAL FILL OPERATION BE OBSERVED AND DOCUMENTED BY A GEOTECHNICAL ENGINEER OR QUALIFIED REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER (RGE).
- E. ALL FILL SHALL BE SPREAD IN LAYERS NOT EXCEEDING SIX (6) INCHES, WATERED AS NECESSARY, AND COMPACTED. MOISTURE CONTENT AT THE TIME OF COMPACTION SHALL BE WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACTION OF THE FILL SHALL BE ACCOMPLISHED TO OBTAIN A DENSITY OF NOT LESS THAN 98 PERCENT OF MAXIMUM DRY DENSITY.
- F. A MINIMUM OF 6-MIL POLYETHYLENE VAPOR BARRIER (PVB) SHOULD BE PLACED ON TOP OF THE PREPARED SUITABLE SUBGRADE TO MITIGATE MOISTURE MIGRATION THROUGH THE SLABS. THE INTEGRITY OF THE PVB MUST BE MAINTAINED DURING SLABS CONSTRUCTION. A 2-INCH TO 4-INCH THICK CUSHION LAYER CONSISTING OF FINE SAND CAN BE PLACED BELOW THE PVB FOR LEVING PURPOSES.
- G. MATERIALS CONSIDERED SATISFACTORY AS SELECTED FILL OR TRENCH BACKFILL MATERIALS ARE CLASSIFIED AS SM, SP, SW, SP-SM, SC, SW-SM, GM, GP, GW, GP-GM AND GW-GM IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION.



2
INTERIOR BEAMS
SCALE: 3/4" = 1'-0"

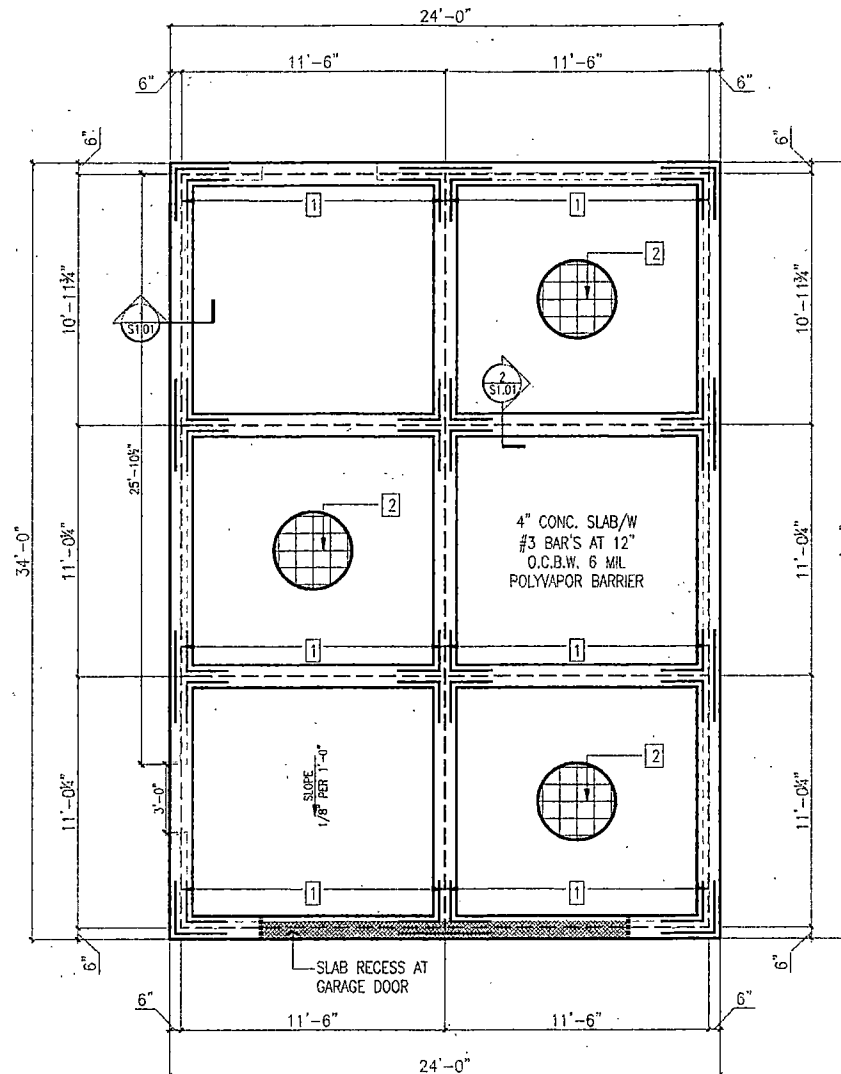
		JD RIVERO DALLAS LLC We enrich your life Blueprint-Permit-Constructions	
		9304 FOREST LN. SUITE 1074, DALLAS, TX 75243 TEL: 1(214) 452-0653 www.jdrivero.com	
OWNER:		OWNER ADDRESS:	
SCHRADER, KERRY D & ANG F		740 PARADISE COVE SHADY SHORES TX 76208	
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			
NO	DATE	REVISION	APPROVED
REVISIONS			
NAME SHEET:		PROJECT NUMBER:	
FOUNDATION DETAILS		PERMIT:	
PROPERTY ADDRESS: 740 PARADISE COVE SHADY SHORES TX 76208			
PROJECT: ADDITION GARAGE			
DATE: 10/16/2020			
SCALE: 3/4" = 1'-0"			
SHEET: \$1.01			
THESE PLANS ARE SUBMITTED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBMITTALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CORRECTED BY THE BUILDER, HOUSING, AND ALL CONTRACTORS OF THIS AND PRIOR TO CONSTRUCTION. BUILDER SHOULD RETAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND INSPECTIONS, BEFORE CONSTRUCTION OF ANY PART. NOTE: ALL PERSONAL, STATE, AND LOCAL CODES AND INSPECTIONS SHALL PRECEDE OVER ANY OF THESE PLANS. EXERCISE CARE AND EXPERTISE HAVE COME INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN INTERPRETATION, NO ENGINEER WILL ASSUME LIABILITY FOR ANY DAMAGES DUE TO DESIGN, CONSTRUCTION, OR CONSTRUCTION ON THESE PLANS. OWNER-BUILDER MUST COMPLY WITH LOCAL, DALLAS CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURPOSES OF THESE PLANS OFFERS THE BUILDER TO CONSTRUCT THIS BUILDING ONLY ONCE. ANY COPYING, REPRODUCING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATIONS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.			

CONTRACTOR NOTE:

THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE STRUCTURAL INTEGRITY OF THE EXISTING BEAM AND ENSURING COMPLIANCE WITH THE REQUIREMENTS OF IRC 2315 AND ACI 318-14

NOTE:

COORDINATE AND VERIFY LOCATIONS OF ALL PLUMBING & REQUIRED ELECTRICAL WITH FLOOR PLAN, PLUMBING FIXTURE, AND EQUIPMENT MANUFACTURER'S REQUIREMENTS.



FOUNDATION PLAN NOTES

TAG	DESCRIPTION
1	REBAR #5 (TOP & BOTTOM)
2	REBAR #3 SPACED AT 12" O.C. BOTH WAYS



FOUNDATION PLAN

SCALE: 3/16" = 1'-0"



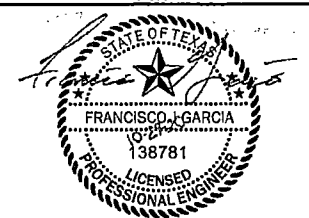
9304 FOREST LN. SUITE N274, DALLAS, TX 75243
TEL: (214) 482 0683 www.jdrivero.com

OWNER: SCHRAEDER, KERRY D & HONG F
OWNER ADDRESS: 740 PARADISE COVE SHADY SHORES TX 76208

NO	DATE	REVISION	APPROVED
1			
2			
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NAME SHEET:	PROJECT NUMBER:
FOUNDATION PLAN	
PERMIT:	

PROPERTY ADDRESS: 740 PARADISE COVE SHADY SHORES TX 76208
PROJECT: ADDITION GARAGE
DATE: 10/16/2020
SCALE: 3/16" = 1'-0"
SHEET: S1.00



THESE PLANS ARE PREPARED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDING DEPARTMENT AND ALL CONTRACTORS OF THE JOB PRIOR TO CONSTRUCTION. BUILDERS SHOULD OBTAIN COMPLETE ENGINEERING EXPENSE, INQUIRY, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK.

THESE PLANS, STATE, AND LOCAL CODES AND INSTRUCTIONS TAKE PRECEDENCE OVER ANY OF THESE PLANS.

QUESTIONS AND DISPUTES HAVE GONE INTO THE CREATION OF THESE PLANS. HOWEVER, BECAUSE OF THE VARIANCE IN GREENING LOCATIONS, BUILDING THE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO CHANGES, OMISSIONS, OR DISCREPANCIES ON THESE PLANS. CHANGES MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO CONSTRUCTION OF CONSTRUCTION.

THE FINANCIAL OF THESE PLANS AND THE BASIS TO CONSTRUCTION THIS BUILDING ONLY ONCE. ANY CHANGES, FRANCHISE ALTERNATE OF THESE PLANS IS NOT PERMITTED. VIOLATIONS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

From: Kerry Schrader

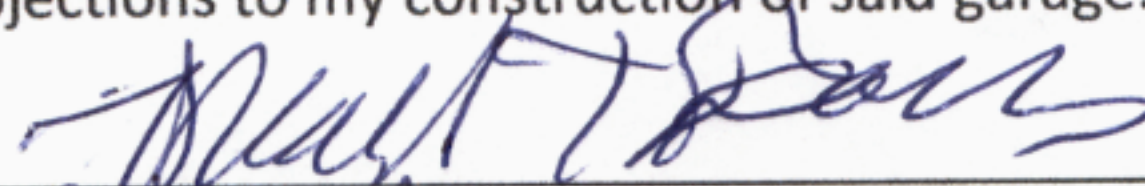
To: Shady Shores Zoning Board of Adjustments

Subject: Garage Variance for 740 Paradise Cove

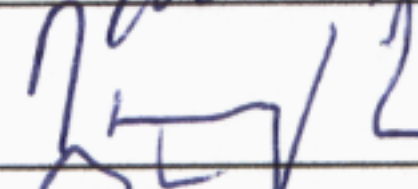
21 November 2020

With regards to my variance request for a garage, I have talked to all of my neighbors within 200 feet of my property and shown them what it would look like and my reasoning for this request. Below is a list of the addresses of the neighbors I approached. Their signature signifies that they have no objections to my construction of said garage.

700 Paradise Cove:



701 Paradise Cove



710 Paradise Cove



711 Paradise Cove



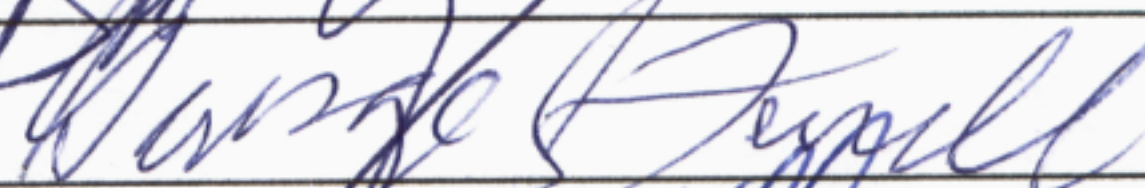
720 Paradise Cove



721 Paradise Cove



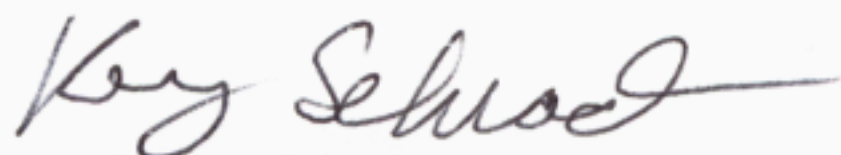
730 Paradise Cove



731 Paradise Cove



If any additional information is needed please let me know.


Kerry Schrader

(vi) Type 2 Accessory Buildings. This type or class of accessory building consists of accessory buildings that are not classed as Type 1 Accessory Buildings or Type 3 Accessory Buildings. Type 2 accessory buildings include but are not limited to a shop or recreation building, swimming pool cabana, boat storage, detached garage for boat, recreational vehicle and motor vehicle storage, home office, tool/equipment storage, greenhouse or stable. Type 2 Accessory buildings may not be used for living quarters, or commercial purposes and may not be used as rental property. No Type 2 Accessory building will be permitted unless there is a principal residential dwelling on the property. A carport for the storage of vehicles, trailers, boats and/or farm implements classed as a Type 2 Accessory building is only permitted to be located on properties that are less than 1/2 acre or on properties not less than 5 acres in size, or on lots that are between 1/2 acre and 5 acres with Agricultural exemptions.

(1) Maximum Size: The maximum number of square feet of usable enclosed area of the Accessory building is regulated by lot size, below in (vii) [subsection (viii)]. The covered floor space of all structures on the property, including all accessory buildings and the principal residence may not exceed the maximum lot coverage of the property. Porch areas may not exceed an additional 20% of the total usable enclosed area.

(2) Maximum Height: The height of the building shall not exceed the height regulated by lot size, below in Article (vii) [subsection (viii)], or the height of the main building, whichever is less.

(3) Location: Type 2 Accessory buildings must be located not less than the minimum front and rear setback and side yard requirements from the property lines, as required in the zoning district in which the accessory building is to be located.

(4) Construction: The building's construction materials must be substantially similar in color, composition and design as that of the residential building, the lower 1/3 of each wall excluding doorways must be brick or masonry, and generally meet the requirements for the principal residential building. Corrugated sheet metal siding is expressly prohibited. Roofing material must also be substantially similar in color, composition and design as that of the residential building and comply with the Town's building codes. For accessory buildings in excess of 300 square feet, including, but not limited to, detached garages each exterior wall shall be constructed with not less than the lower one third (1/3) of the wall as masonry construction[.]

(5) Foundation: A concrete foundation is required for all Type 2 Accessory buildings, with the exception of "Greenhouses."

(vii)[viii] LOT SIZE DETERMINES THE TYPE AND SIZE OF ACCESSORY BUILDINGS.

- (1) Less than 1/2 acre: One Type 2 (not to exceed 700 square feet and 16 feet in height) or one Type 3 accessory building.
- (2) 1/2 acre to less than 1 acre: One Type 2 (not to exceed 1500 square feet and 16 feet in height) or one Type 3 accessory building.
- (3) 1 to less than 2 acres: One Type 1 or Type 2 (not to exceed 2000 square feet and 16 feet in height) and one Type 3 accessory building.
- (4) 2 to less than 5 acres: The total of all accessory structures should not to exceed 4500 square feet and 16 feet in height with a maximum of three (3) accessory structures of Type 1, 2 and/or 3.
- (5) 5 acres or more: Not more than four (4) type 1 or type 2 Accessory buildings. The total cumulative floor space of all accessory buildings, (Type 1, 2, and/or 3) may not exceed ten [percent] (10%) of the lot size. The height of Type 1 and Type 2 accessory buildings may not exceed 24 feet. Type 3 may not exceed 12 feet in height. The building materials do not have to match the principal residence.